

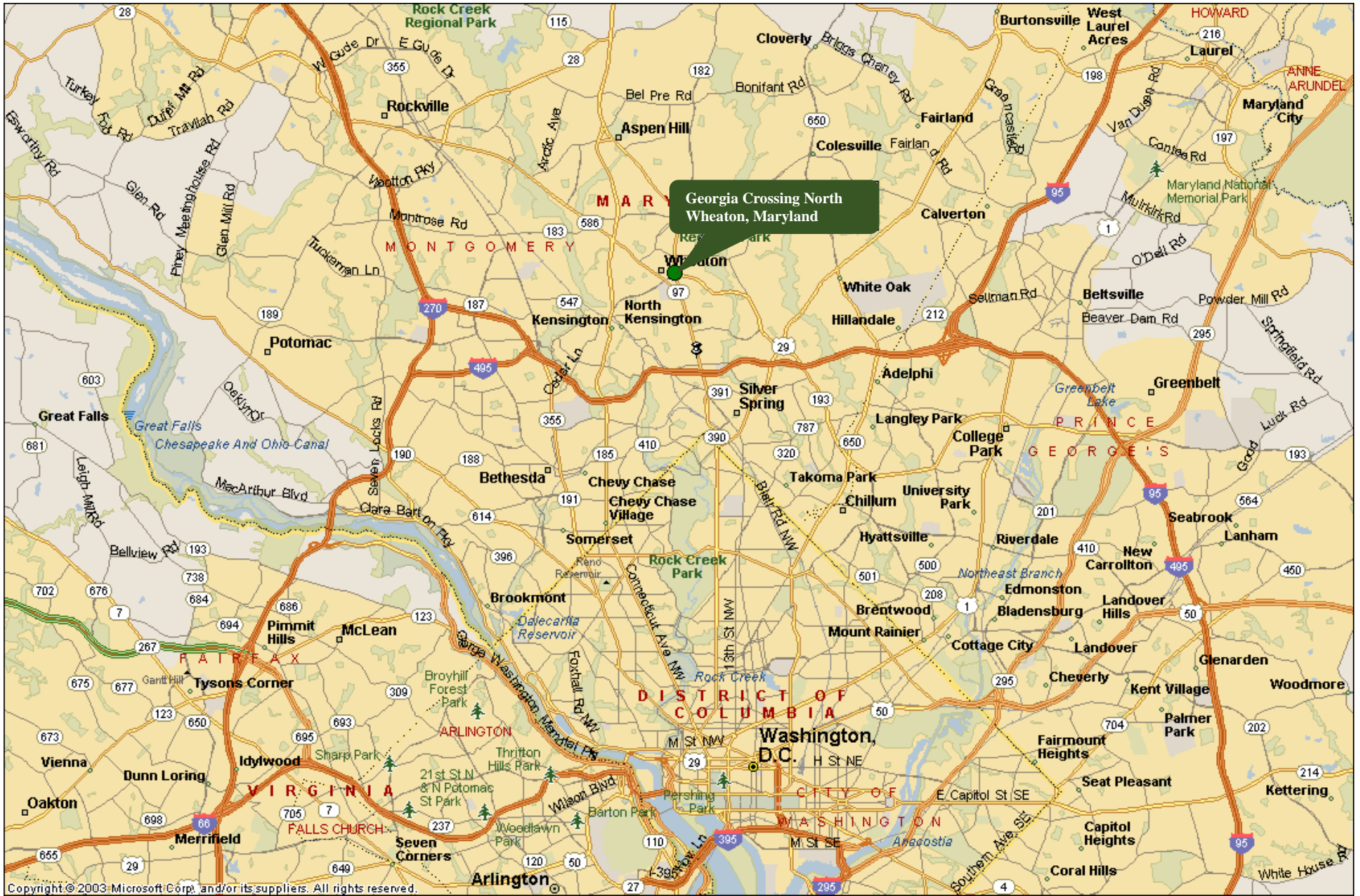
**GEORGIA CROSSING NORTH
11416 GEORGIA AVENUE
WHEATON, MD**



Presented by:

**Kathy Coakley
Greenhill Realty Company
4901 Fairmont Avenue, Suite 200
Bethesda, Maryland 20814
P: 301-657-2525 ext. 17
F: 301-657-2555
E-mail: kcoakley@greenhillcompanies.com**

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LEASING INFORMATION

AVAILABILITY

Space Available	Size (in s.f.)
11410-A Georgia Avenue (2 nd Floor)	2,460
11410-H Georgia Avenue	1,310
11410-N Georgia Avenue (2 nd Floor)	1,820
11410-P Georgia Avenue	1,780
11412 Georgia Avenue	2,650
11416 Georgia Avenue (2 nd Floor)	3,650
11425 Grandview Avenue	1,715
11429 Grandview Avenue	1,700

LEASING TERMS

Rate: \$10 - \$28 per s.f., triple net, with four percent (4%) annual increases

Term: Five (5) years, with options available

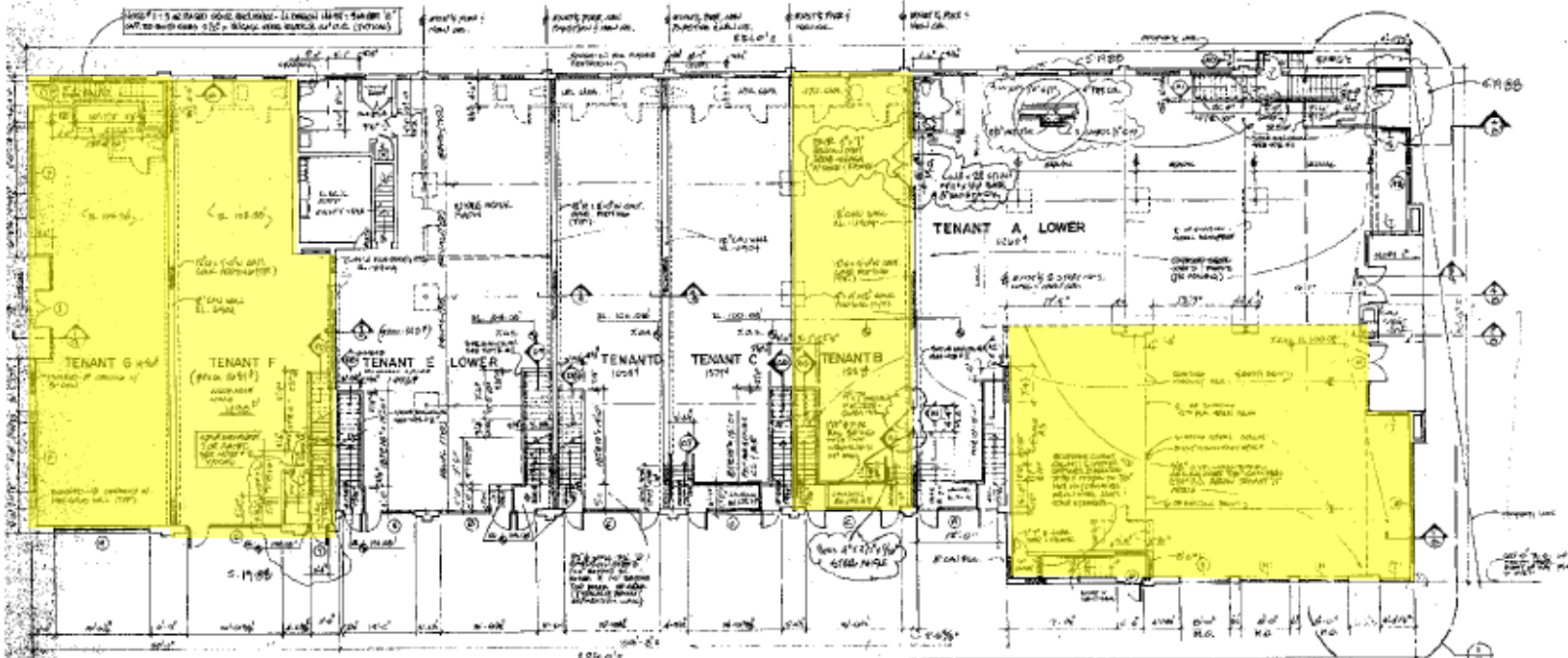
**Lease
Commencement:** Immediate

**Rent
Commencement:** Ninety (90) days following lease commencement

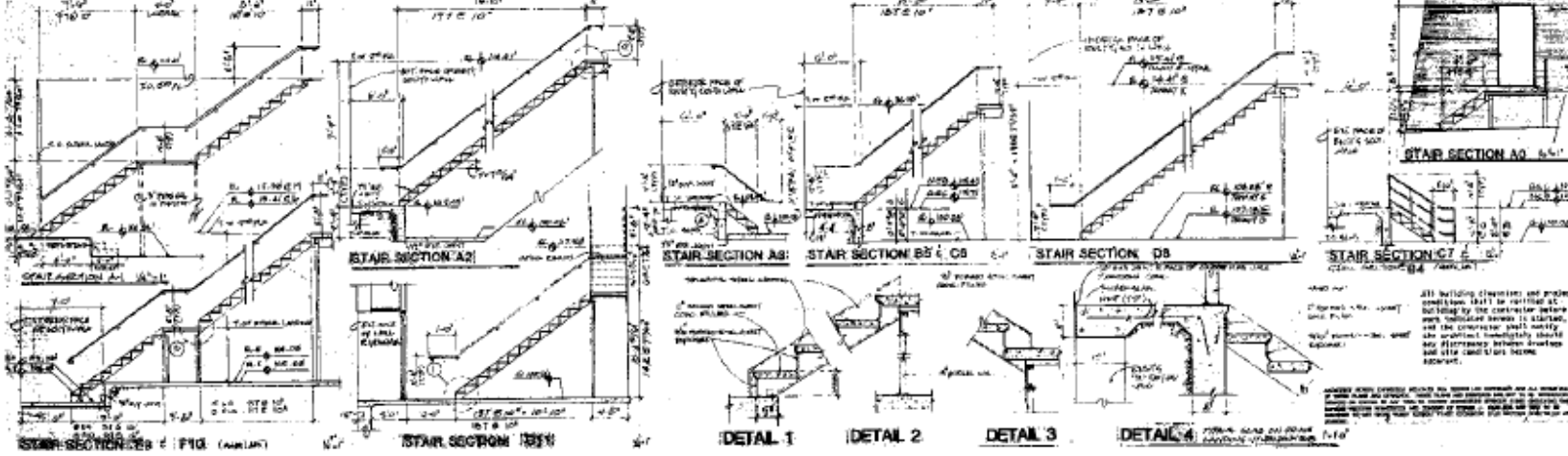
Exclusives: None

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FLOOR PLANS



FIRST FLOOR (SEE SHEET 100-100-100-100) NOTE: ALL STAIRS SHALL HAVE THE FOLLOWING SPECIFICATIONS: STAIR ENCASEMENTS SHALL BE 3/4" THICK SOLID CORE WITH 1/2" THICK STAINLESS STEEL HANDRAILS AND FINISHES. ALL STAIRS SHALL BE 3/4" THICK SOLID CORE WITH 1/2" THICK STAINLESS STEEL HANDRAILS AND FINISHES. ALL STAIRS SHALL BE 3/4" THICK SOLID CORE WITH 1/2" THICK STAINLESS STEEL HANDRAILS AND FINISHES.



GREENHILL ARCHITECTURE, INC.
1110 GEORGIA AVENUE, WHEATON, MARYLAND
LOT 1, BLOCK 44, WHEATON HILLS SUBDIVISION

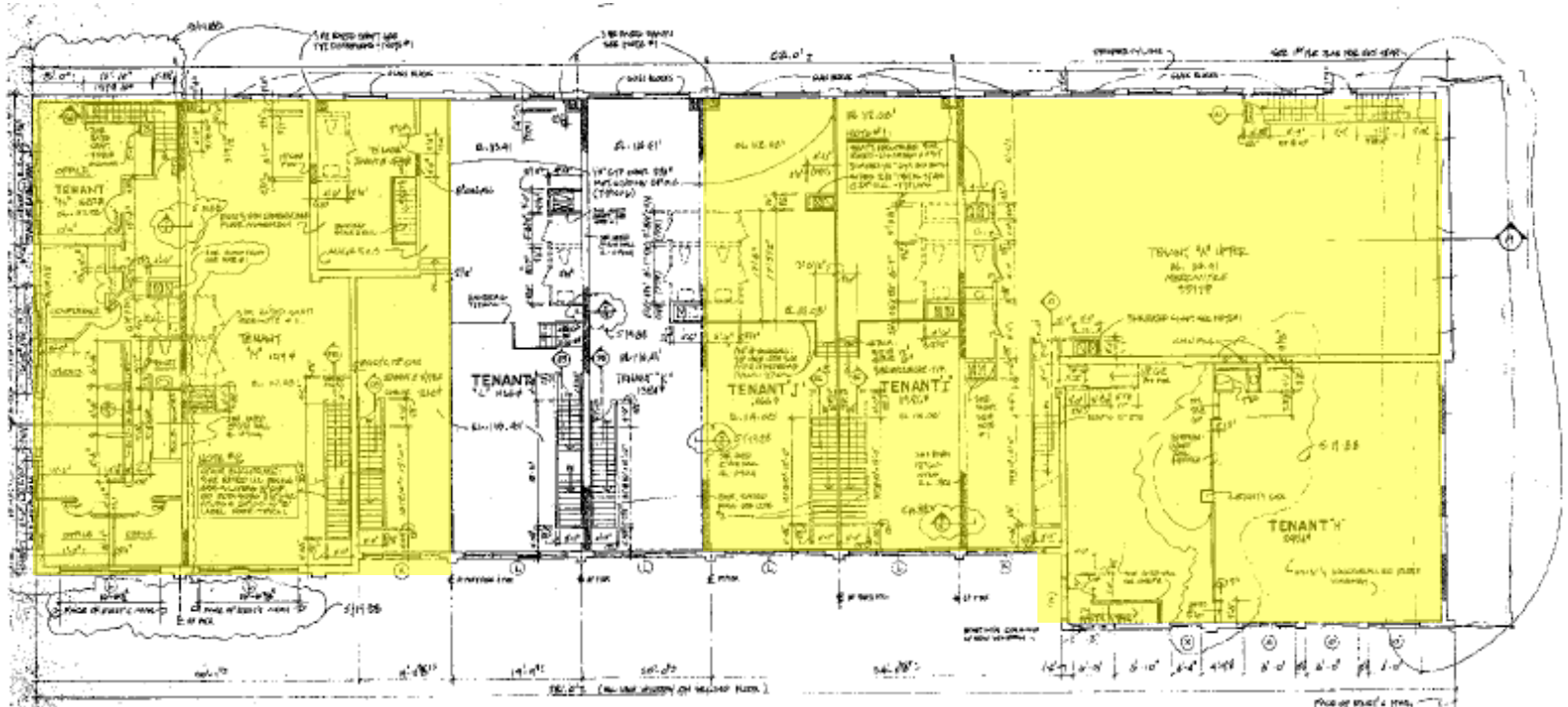
PROJECT NUMBER	100-100-100-100
CLIENT	GREENHILL ARCHITECTURE, INC.
DATE	01/15/2010
DESIGNER	GREENHILL ARCHITECTURE, INC.
CHECKED	GREENHILL ARCHITECTURE, INC.
DATE	01/15/2010

FACADE MODERNIZATION & INTERIOR RENOVATIONS
1110 GEORGIA AVENUE, WHEATON, MARYLAND
LOT 1, BLOCK 44, WHEATON HILLS SUBDIVISION

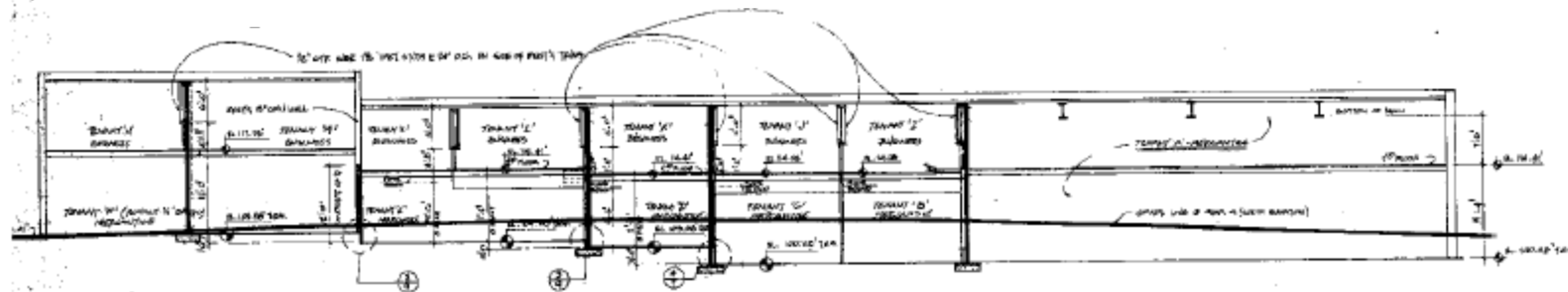
SUBMITTAL NUMBER	100-100-100-100
DATE	01/15/2010
DESIGNER	GREENHILL ARCHITECTURE, INC.
CHECKED	GREENHILL ARCHITECTURE, INC.
DATE	01/15/2010



FLOOR PLANS



SECOND FLOOR



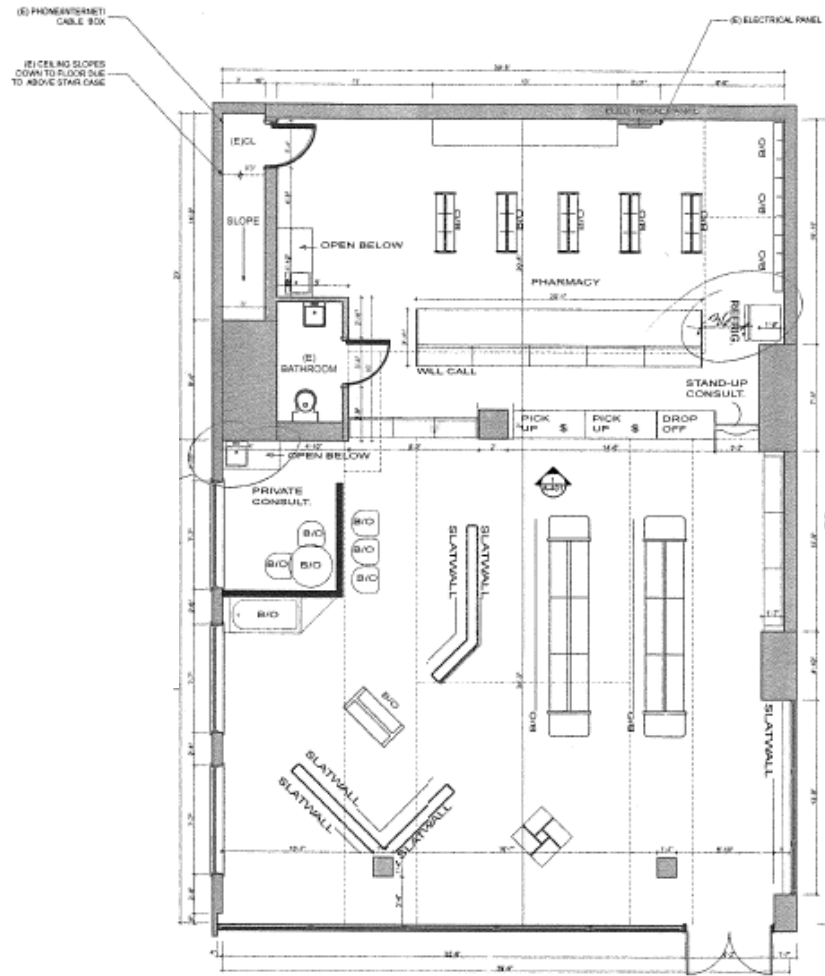
SOMITI ASSOCIATES, INC.
 PROJECT ARCHITECT
 PROJECT NO. 15-01
 DRAWING NO. 200-01
 DATE 01/15/15
 CHECKED [Signature]
 APPROVED [Signature]

PROJECT INFORMATION
FAÇADE MODERNIZATION & INTERIOR RENOVATIONS
 114116 GEORGIA AVENUE WHEATON, MARYLAND
 LOT 1, BLOCK 44, WHEATON RIDGE SUBDIVISION

REVISION DATE: [Blank]
 REVISION DATE: [Blank]
 REVISION DATE: [Blank]



FLOOR PLANS



NOTE:
 ERRORS TO KEEP & MIRRORS
 LOCATION TO BE DETERMINED BY
 OWNER.

NOTE:
 DIRECTIONAL MARKERS REFERENCE
 ELEVATION PLAN 6/8

1 New Construction: Floor Plan
 SCALE: 1/4" = 1'-0"

General Construction Notes

- All partitions should be clean and prepared for proposed finish construction per review of ARCHITECT and General Contractor. All areas left are indicated originally or currently with gypsum board should be joint ready.
- Alignment of door heads and other vertical/horizontal elements shall be maintained at a constant level relative to the ceiling plane, and shall not follow variations in floor plane.
- GC to notify Architect of date for partition layout. Layout to be approved by Architect before beginning construction. Two working day notice required. All CMIR setting must be indicated in layout on floor using different color than partition chalkline.
- All partitions joints shall be spigotted, taped and sanded smooth into no visible joints.
- All exterior corners of gypsum board shall have metal corner beads (stained type) UNO.
- All dimensions are shown from finish face of construction UNO.
- Dimensions indicated to be "clear" or "to" shall be maintained. Any discrepancies or variations in these dimensions shall be reviewed with the Architect before beginning construction.
- Any dimensions noted "w/ty" or "w/PT" must be reviewed with the Architect before beginning construction.
- Provide bracing to the deck above at all door joints.
- Provide additional studs as required to achieve sublet groupings. Coordinate with engineering teams.
- At all network locations, GC to install fire marker or non-combustible board marking as required. See sublet specifications for model of network.
- Do not scale from this plan. Contact Architect should you require dimensional information.
- At locations of OMB ceilings and bulkheads (see RCP) GC to refer to light fixture cut sheets and specifications to ensure proper size rough cuts is provided for proper installation of light fixture housing. Same to tile, trim, etc.

Plan Legend



KUBE architecture
 2029 P Street NW
 Suite 201
 Washington DC 20036
 202.986.0573

Drawn By: RL
 Checked By: RL

01	06/27/13	Permit Set

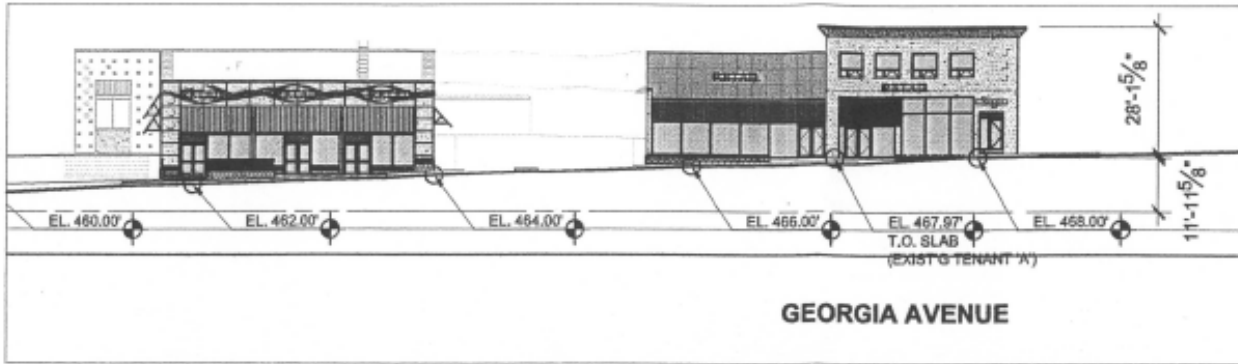
Apex Care Pharmacy
 11412 Georgia Ave.
 Silver Spring, MD 20902

A-304

New Construction:
 Floor Plan



FAÇADE RENOVATION



GEORGIA AVENUE STREETSCAPE ELEVATION - SCHEME 1
12/08/2007



GREENHILL

STEVEN J. KARR, AIA INC.
ARCHITECTURE • LAND PLANNING • CONSTRUCTION MANAGEMENT
219 NORTH ADAMS STREET, ROCKVILLE, MARYLAND, 20850
TEL: 301.610.5210 FAX: 301.610.5211 www.sjkarr.com

PROJECT ARCHITECT: STEVEN J. KARR, AIA
DESIGNED BY: S.J.KARR
DRAWN BY: C.BETZ

**GAFM BUILDING
FACADE RENOVATION**
11416 GEORGIA AVENUE, WHEATON, MD

DATE	SUBMISSION
12.08.07	SCHEME 1
DATE	REVISION

NOT TO SCALE. THIS IS A PRELIMINARY DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING BUILDING AND SITE PRIOR TO CONSTRUCTION.